

FOR LEASE

Speer Street Flex

Azle, Texas

Unique Product for the Rapidly Growing Azle Market



BUILDING FEATURES

- + 17,296 sf building
- + 14' x 12' Rear entry overhead doors
- + 18' clear span ceiling
- + Concrete parking
- + Minimum 1,700 sf spaces
- + Bay depths of 66' and 75'

LOCATION HIGHLIGHTS

- + Quick Access to S.H. 199
- + Across the street from the new City of Azle City Hall and Justice Center
- + Cross Access with Ranchview Village Shopping



Bellaire North Investments

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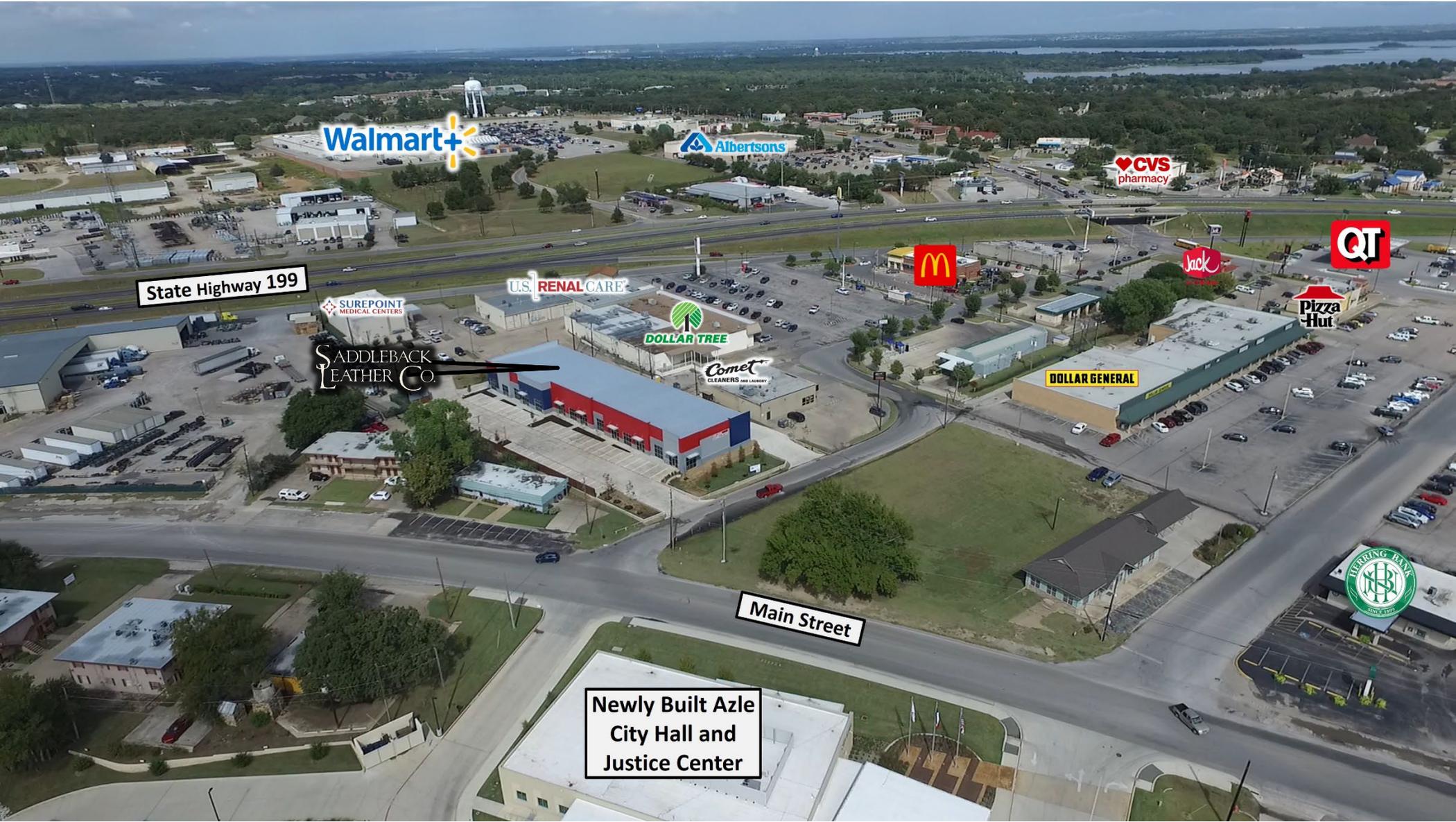
2800 South Hulen Street

Fort Worth, Texas 76109

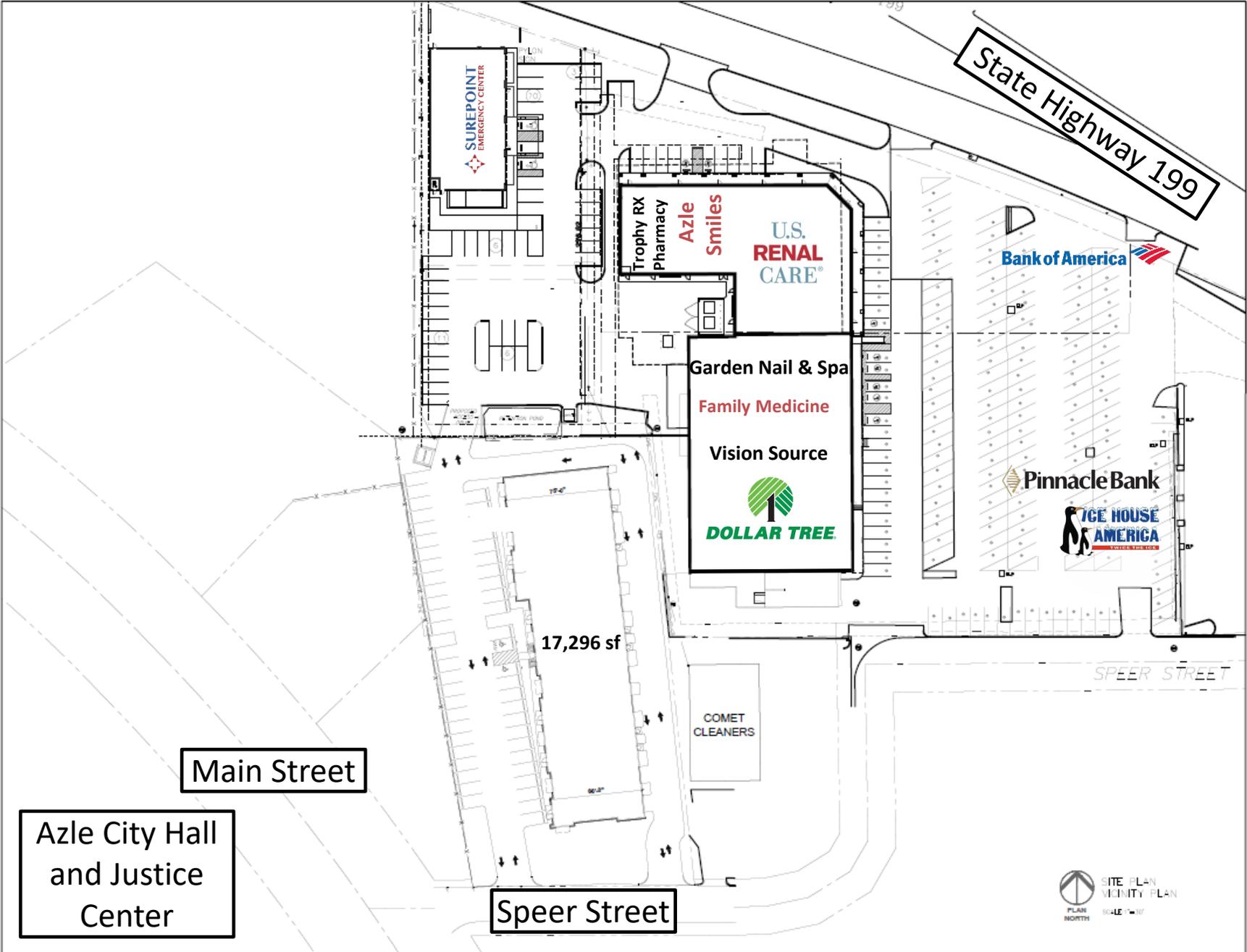
AERIAL



BIRDS EYE AERIAL



SITE PLAN



Azle City Hall
and Justice
Center

Main Street

Speer Street

State Highway 199

W
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COLLEGE STATION, TEXAS 77840
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GERALD@WARDARCHITECTUREPLLC.COM

DATE: 01/14/2019
SCALE: AS SHOWN
DRAWN BY: JAC
CHECKED BY: JAC

FLEX OFFICE BUILDING
210 SPEER STREET
AZLE, TEXAS

Drawn By: JAC
Checked By: JAC
Project No: 19-01
Issue Date: 01/14/2019

No.	Type	Description

Scale: REVIEW SET
SITE PLAN
VICINITY PLAN



